

HUGH HARTMAN ELEMENTARY SCHOOL

2105 W ANTLER AVE, REDMOND, OR 97756

ISSUED ON: 2026-01-21

SCOPE OF REPAIR SUMMARY

SEE SECTION 01 1013 - SCOPE OF REPAIR IN THE PROJECT MANUAL. SHOULD THERE BE DISCREPANCIES BETWEEN THIS SCOPE OF REPAIR SUMMARY AND SECTION 01 1013 OF THE PROJECT MANUAL, SECTION 01 1013 SHALL GOVERN.

GENERAL CONDITIONS

- PROJECT MOBILIZATION SHALL INCLUDE ALL CONTRACTOR AND SUBCONTRACTOR MOBILIZATION COSTS.
- PROJECT GENERAL REQUIREMENTS AND ALL MISCELLANEOUS COSTS ASSOCIATED WITH THE COMPLETION OF THE WORK SHALL INCLUDE, BUT NOT BE LIMITED TO: DEMOLITION AND DISPOSAL; WATER DAMAGE REMEDIATION; CLADDING REHABILITATION OR REPLACEMENT AS APPLICABLE; WINDOW REHABILITATION AS APPLICABLE; ROOF REHABILITATION; AND PROJECT CLEAN UP.
- CARRY PRICING FOR APPROPRIATE SITE SUPERVISION, PROJECT MANAGEMENT, OFFICE SERVICES, ON-SITE TEMPORARY OFFICE, MATERIAL STORING AND STAGING, FULL-TIME WEATHER PROTECTION, SCAFFOLDING, STAGING AND ACCESS, TEMPORARY SHORING, TEMPORARY FENCING SAFEGUARDS, PEDESTRIAN PROTECTION, WORK FACILITIES, CONSTRUCTION OFFICES, UTILITY COST, SECURITY SUBMITTALS, RFIS, MOCK-UPS, PROJECT PROGRESS MEETINGS, RECORD DRAWINGS, ETC.
- THE CONTRACTOR SHALL PROVIDE AFTER-HOURS AND WEEKEND SECURITY TO GUARD CONSTRUCTION AT THE CONTRACTORS COST AND DISCRETION.
- CONTRACTOR SHALL PROVIDE AN ORGANIZATIONAL CHART WITH THE PROPOSAL FOR STAFFING THE PROJECT. STAFFING MUST INCLUDE A PROJECT MANAGER, A SITE SUPERINTENDENT, AND AT LEAST ONE FULL-TIME QUALITY CONTROL INSPECTOR.
- CARRY ALLOWANCES FOR APPLICABLE TRADE PERMITS AND CGL INSURANCE.
- LIMITED TRADE WORK WILL REQUIRE PERMITS. ALL SUCH WORK SHALL BE DONE UNDER PERMITS AS REQUIRED BY THE CITY OF REDMOND. INCLUDE ALL COST NECESSARY FOR SUBMISSION OF DOCUMENTS REQUIRED TO PERMIT AND COMPLETE THIS PROJECT INCLUDING ALL NECESSARY AS-BUILTS, SHORING AND SURVEYS. PERMITS ARE EXPECTED TO BE REQUIRED FOR EACH INDIVIDUAL BUILDING (AS OPPOSED TO A SINGLE PERMIT FOR THE ENTIRE PROJECT) AND COSTS ARE TO BE CARRIED AS SUCH.
- CONTRACTOR SHALL MAINTAIN ALL INSURANCE COVERAGES IDENTIFIED IN THE CONTRACT. IT WILL BE THE CONTRACTORS RESPONSIBILITY TO KEEP THE ENTIRE JOB-SITE SAFE AND CLEAN DURING THIS CONSTRUCTION. DAILY CLEAN-UP WILL BE REQUIRED THROUGHOUT THE CONSTRUCTION PERIOD.
- CONTRACTOR TO SUPPLY ALL DUMPSTERS AND DUMP FEES NECESSARY TO COMPLETE PROJECT.
- ALL SUBCONTRACTOR CONTRACTS MUST BE SIGNED AND IN EFFECT PRIOR TO THE START OF CONSTRUCTION. PROOF OF EXECUTED SUBCONTRACTOR AGREEMENTS SHALL BE PRESENTED BY THE CONTRACTOR TO THE OWNER PRIOR TO ANY CONSTRUCTION OR STAGING TAKING PLACE.
- UPON REINSTATEMENT OF PERMANENT STRUCTURAL LOAD SYSTEMS, REMOVE AND DISPOSE OF ANY TEMPORARY SHORING MATERIALS IN PLACE PRIOR TO OR USED DURING THE COURSE OF CONSTRUCTION PER LOCAL REQUIREMENTS.
- PROVIDE ALL NECESSARY STAGING, HOARDING, AND WEATHER PROTECTION TO PERFORM THE WORK WITHIN THE BASE COST.
- PROVIDE ALL NECESSARY PREPARATIONS TO PERFORM THE WORK WITHIN THE BASE COST.
- WATER AND WEATHER ENTRY INTO THE FACILITY THROUGHOUT THE DURATION OF CONSTRUCTION IS NOT TO OCCUR. CONTRACTOR SHALL BEAR ALL ASSOCIATED REPAIR COSTS SHOULD THIS OCCUR.

PRIMARY SCOPE ELEMENTS

THE PRIMARY REPAIR ELEMENTS OUTLINED WITHIN THE SCOPE OF REPAIR INCLUDE:

- REMOVAL AND DISPOSAL OF THE IN-SERVICE STEEP-SLOPE ROOFING ASSEMBLY. REPLACEMENT WITH NEW SHEET METAL SADDLES, SELF-ADHERING FLASHINGS, SYNTHETIC UNDERLAMENT, INSTALLATION OF NEW CONTINUOUS EXTERIOR INSULATION, AND NEW ASPHALT COMPOSITION SHINGLES.
- REHABILITATION OF THE IN-SERVICE LOW-SLOPE ROOF ASSEMBLY WITH A FULLY-REINFORCED LIQUID-APPLIED ROOF RESTORATION SYSTEM.
- TARGETED STUCCO REMOVAL AND REPLACEMENT WITH DIRECT-APPLIED STUCCO AT LOCATIONS AROUND OPENINGS WHERE NEW FLASHINGS IS TO BE INSTALLED PER DETAILS.

THIS SCOPE DOES NOT ADDRESS UNFORESEEN STRUCTURAL DEFICIENCIES, MECHANICAL SYSTEMS, OR OTHER BUILDING SYSTEMS NOT DIRECTLY IMPACTED BY THE PROPOSED ENVELOPE RENEWALS. CONSTRUCTION DOCUMENTS WERE NOT AVAILABLE FOR REFERENCE. ASSUMPTIONS WERE MADE ABOUT THE EXISTING ROOFING ASSEMBLY TO THE BEST OF OUR ABILITY BASED ON FIELD OBSERVATIONS AND NON-DESTRUCTIVE MOISTURE SCANNING AT SELECT AREAS NOTED IN THE PHOTO APPENDIX. THIS DOCUMENT MAY BE MODIFIED AS NECESSARY TO REFLECT EXISTING CONDITIONS AND CORRESPONDING RECOMMENDATIONS AFTER EXISTING CONDITIONS ARE CONFIRMED DURING THE CONSTRUCTION PHASE.

SCOPE REQUIREMENTS - ROOF AREAS

- TEMPORARILY REMOVE AND STORE ALL MISCELLANEOUS COMPONENTS AFFIXED OR SET ON THE BUILDING ROOF THAT MAY BE IMPACTED BY THE WORK. STORE FOR REINSTALLATION UNLESS SCHEDULED FOR REPLACEMENT.
- REMOVE AND DISPOSE OF ALL EXHAUST VENTS COVERS (ROOF VENTS AND DRYER VENTS) AND REPLACE WITH NEW IN ACCORDANCE WITH THE DESIGN DOCUMENTS.
- REMOVE AND PROPERLY DISPOSE OF FLASHINGS, EDGE METALS AND ASSOCIATED COMPONENTS IMPACTED BY THE WORK AND AS NEEDED FOR PROPER INSTALLATION OF THE NEW ROOFING AND DRAINAGE SYSTEMS.
 - AT REMOVED ROOF DRAINS, PROVIDE NEW PLYWOOD SHEATHING WITH THE SAME SPAN RATING AND THICKNESS AS EXISTING. PATCH IS TO BE FROM EXISTING FRAMING MEMBERS ONLY. I.E. DO NOT SCAB IN NEW SHEATHING INTO THE EXISTING HOLE.
 - AT REMOVED FLASHINGS WHERE WOOD CURBING IS PRESENT, VERIFY CONDITION OF NEWLY EXPOSED MATERIALS AND REPLACE DAMAGED MEMBERS. SEE ROOF REPAIR ALLOWANCE.
- IN COORDINATION WITH THE CONSULTANT, EVALUATE THE ROOF SHEATHING TO DETERMINE LOCATIONS WHERE UNDERLYING SHEATHING HAS BEEN DAMAGED AND REQUIRES REPLACEMENT.
- REMOVE AND SALVAGE FOR REINSTALLATION EXISTING SIDING WHERE IMPACTED BY THE WORK, WHERE MORE COST EFFECTIVE, REPLACE WITH NEW FIBER CEMENT MATERIALS AND PAINT TO MATCH THE ADJACENT WALL SURFACE.
- CONSTRUCT ALL SHEET-METAL FLASHING FROM 24-GAUGE PRE-FINISHED SHEET-METAL FLASHING. ENSURE ALL SHEET-METAL FLASHING HAS A MINIMUM 15° SLOPE AND PERMANENTLY WATER TIGHT JOINTS THAT MEET THE MINIMUM SNAGMA REQUIREMENTS. SECURE ALL FLASHING WITH 304 STAINLESS-STEEL FASTENERS OR HOT DIPPED GALVANIZED FASTENERS. PLATED FASTENERS ARE NOT TO BE USED.
- INSTALL SELF-ADHERED MEMBRANE, PRE-MANUFACTURED FLASHINGS, AND SHEET-METAL FLASHING AS NEEDED TO FLASH THE VARIOUS SMALL PENETRATIONS (I.E., PIPES, EXHAUST VENTS, ROOF SCUPPER SLEEVES AND OVERFLOWS, ETC.) AS PER THE DESIGN DOCUMENTS.

ABBREVIATIONS:

AL.	ALUMINUM
APPROX.	APPROXIMATE
ARCH.	ARCHITECTURAL
BLDG.	BUILDING
BOT.	BOTTOM
COL.	COLUMN
C.M.U.	CONCRETE MASONRY UNIT
CONC.	CONCRETE
CONT.	CONTINUOUS
CONSTR.	CONSTRUCTION
CW.	COMPLETE WITH
DIA.	DIAMETER
DM.	DIMENSION
DWG.	DRAWING
D.S.	DOWNSPOUT
EA.	EACH
EL.	ELEVATION
ELEC.	ELECTRICAL
EQU.	EQUAL
EQUIP.	EQUIPMENT
EXIST.	EXISTING
EXT.	EXTERIOR
F.C.	FIBER CEMENT
F.D.	FLOOR DRAIN
FIN.	FINISH
F.R.T.W.	FIRE-RETARDANT TREATED WOOD
FUR.	FURRING OR FURRED
G.	GAUGE
GALV.	GALVANIZED
GYP.	GYPSUM
GYP.	GYPSUM
HORIZ.	HORIZONTAL
INT.	INTERIOR
INSUL.	INSULATION
MAX.	MAXIMUM
MEMB.	MEMBRANE
MIN.	MINIMUM
MISC.	MISCELLANEOUS
N.I.C.	NOT IN CONTRACT
N.T.S.	NOT TO SCALE
O.C.	ON CENTER
P.L.Y.	PLYWOOD
O.S.B.	ORIENTED STRAND BOARD
P.T.	PRESSURE TREATED
POL.Y.	POLYETHYLENE
R.	RADIUS
REF.	REFERENCE
REIN.F.	REINFORCED
REQD.	REQUIRED
REV.	REVERSED
R.OOF.	ROOF DRAIN
R.W.A.	RAINWATER LEADER
S.A.M.	SELF ADHERED MEMBRANE
SEAL.	SEALANT
SECT.	SECTION
SIM.	SIMILAR
SPEC.	SPECIFICATION
S.O.G.	SLAB-ON-GRADE
ST.	STAINLESS STEEL
STRUCT.	STRUCTURAL
T&G.	TONGUE AND GROOVE
T.B.A.	TO BE CONFIRMED
TEMP.	TEMPERATURE
T.O.W.	TOP OF WALL
TYPICAL.	TYPICAL
U.N.O.	UNLESS NOTED OTHERWISE
VERT.	VERTICAL
V.I.F.	VERIFY IN FIELD
W/O.	WITHOUT
W.R.B.	WEATHER-RESISTIVE BARRIER
AND	AND
@	AT
#	NUMBER / POUNDS
±	PLUS OR MINUS
L	ANGLE

GENERAL NOTES - SHEAR AND FIRE WALLS

- SHEAR WALLS (WHERE OCCUR) FOUND THROUGH THE COURSE OF CONSTRUCTION WILL BE IDENTIFIED TO THE ARCHITECT. AS REQUIRED, REVISED PLANS AND DETAILS IDENTIFYING HOW THE EXISTING CONDITION(S) WILL BE REMEDIATED TO MAINTAIN THE INTEGRITY OF THE SHEAR WALL(S) IN QUESTION WILL BE SUBMITTED TO THE AHJ FOR REVIEW AND APPROVAL PER SECTION 107.2.1.
- UNIDENTIFIED FIRE-RESISTANT RATED WALLS FOUND THROUGH THE COURSE OF CONSTRUCTION WILL BE IDENTIFIED TO THE ARCHITECT. AS REQUIRED, REVISED PLANS AND DETAILS IDENTIFYING HOW THE EXISTING CONDITION(S) WILL BE REMEDIATED TO MAINTAIN THE INTEGRITY OF THE FIRE-RESISTANT RATED CONSTRUCTION IN QUESTION WILL BE SUBMITTED TO THE AHJ FOR REVIEW AND APPROVAL PER SECTION 107.2.1.
- WHERE EXTERIOR WALLS (SHEAR, FIRE OR GENERAL USE) WALLS ARE FOUND TO HAVE DAMAGE THAT CANNOT BE TRACED TO A DEFINITIVE LEAKAGE SOURCE, THE AREA IS TO BE REVIEWED WITH THE ARCHITECT/CONSULTANT PRIOR TO DAMAGED SHEATHING REMOVAL. DO NOT PROCEED WITHOUT WRITTEN APPROVAL FROM THE ARCHITECT/CONSULTANT.

AHJ REVIEW OF REPLACED SHEATHING/FRAMING

- REPLACED SHEATHING IS TO BE NAILED PER THE FRAMING AND SHEATHING NOTES IN THESE DOCUMENTS OR PER THE ORIGINAL CONSTRUCTION DRAWINGS, WHICHEVER IS MORE STRINGENT. NOTIFY CONSULTANT IF AREAS OF FRAMING REPAIR FOUND THAT REQUIRE ENGINEERED TEMPORARY SHORING. WALL SHEATHING IS TO BE MAINTAINED UNTIL REPLACED WITH PLYWOOD WITH MINIMAL WALL AREA EXPOSED TO FRAMING AT A GIVEN TIME.
- REVIEW REPLACED SHEATHING AND FRAMING WITH THE BUILDING INSPECTOR AS REQUIRED BY THE AHJ PRIOR TO COVER.
- SHEAR WALLS FOUND THROUGH THE COURSE OF CONSTRUCTION THAT REQUIRE REPAIR WILL BE IDENTIFIED, AND REVISED PLANS AND DETAILS SHOWCASING HOW THE EXISTING CONDITIONS WILL BE REMEDIATED TO MAINTAIN THE INTEGRITY OF THE SHEAR WALL(S) IN QUESTION WILL BE RECORDED ON RECORD DOCUMENTS AND PROVIDED TO THE AHJ UPON COMPLETION OF THE PROJECT AS PART OF THE CLOSE-OUT PROCESS.

FRAMING & SHEATHING REQUIREMENTS

- NEW FRAMING SHALL BE OF THE SAME SIZE AS THOSE MEMBERS BEING REPLACED UNLESS SPECIFICALLY APPROVED.
- FRAMING LUMBER SHALL BE HEM FIR NO. 2 FOR STUDS AND JOISTS, DOUG-FIR NO. 1 FOR BEAMS AND POSTS. GRADE AND SPECIES UNLESS OTHERWISE NOTED. LUMBER TO BE GRADE MARKED PER UCLB SPECIFICATIONS.
- STRUCTURAL SHEATHING SHALL BE APA RATED PLYWOOD, EXPOSURE 1 SHEATHING CONFORMING TO EITHER COMMERCIAL STANDARDS PS-85, APA PR-188, OR VOLUNTARY PRODUCT STANDARD PSE-92. PROVIDE A MINIMUM OF 3/8" EDGE DISTANCE ON ALL NAILS AND 1/8" EXPANSION JOINT BETWEEN ALL PANEL EDGES. MINIMUM SHEATHING REQUIREMENTS ARE AS FOLLOWS, UNLESS NOTED OTHERWISE ON THE PLANS:
 - NAILING SHALL CONFORM TO TABLE 2304.10.2 OF THE INTERNATIONAL BUILDING CODE UNLESS NOTED OTHERWISE. USE COMMON NAILS THROUGHOUT UNLESS NOTED OTHERWISE.
 - NO STRUCTURAL MEMBER SHALL BE CUT OR NOTCHED UNLESS SPECIFICALLY DETAILED OR APPROVED IN WRITING.
 - PROVIDE PROPERLY SIZED WASHERS UNDER HEADS AND NUTS OF ALL BOLTS AND LAG SCREWS BEARING ON WOOD.
 - PROVIDE 3"x3"x0.229" WASHERS AT ALL ANCHOR BOLTS.
 - BOLT HOLES SHALL BE NOMINAL DIAMETER OF BOLT PLUS 1/16" UNLESS NOTED OTHERWISE. LAG BOLT HOLE HOLES SHALL BE PRE-DRILLED TO 80% OF THE NOMINAL DIAMETER OF THE LAG BOLT UNLESS NOTED OTHERWISE.
 - ALL SILL PLATES SHALL BE BOLTED TO THE FOUNDATION WITH 5/8" MINIMUM DIAMETER BOLTS SPACED AT A MAXIMUM OF 48". BOLTS MUST BE EMBEDDED A MINIMUM OF 1" INCHES INTO CONCRETE OR MASONRY.
 - PROVIDE DOUBLE JOIST UNDER ALL PARALLEL PARTITION WALLS AND SOLID BLOCKING UNDER PERPENDICULAR PARTITION WALLS.
 - WALL SHEATHING TO BE 1/2" CDX UNLESS NOTED OTHERWISE.
 - ROOF SHEATHING TO BE PRESSURE TREATED 1/2" CDX UNLESS NOTED OTHERWISE.
 - FASTENERS TO BE HOT DIP GALVANIZED UNLESS NOTED OTHERWISE.
 - EXTERIOR WALL OPENINGS & BEARING WALL OPENINGS TO HAVE 4 X 12 HEADERS UNLESS OTHERWISE INDICATED.
 - PROVIDE SIMPSON H10A TRUSS TIES AT EACH TRUSS LOCATION BEARING ON WALL DOUBLE TOP STRUCTURAL SPECIALTY CODE.
 - PROVIDE FIREBLOCKING, DRAFTSTOPS & FIRESTOPS AS REQUIRED BY THE OREGON STRUCTURAL SPECIALTY CODE.
 - PROVIDE POSITIVE CONNECTIONS AT EACH END OF POSTS AND COLUMNS TO RESIST LATERAL DISPLACEMENT.
 - PROVIDE NEW PRESERVATIVE PRESSURE-TREATED SILL PLATES AT AREAS OF NEW CONSTRUCTION (UNPA USE CLASSIFICATION UCLB3, ABOVE GROUND).
 - ENGINEERED ROOF TRUSSES: REFER TO TRUSS SHOP DRAWINGS.
- LUMBER SPECIES - UNO:
 - A. POSTS, BEAMS, HEADERS, JOISTS AND RAFTERS: NO. 2 DOUGLAS FIR
 - B. SILLS, PLATES, BLOCKING BRIDGINGS ETC.: NO. 3 DOUGLAS FIR
 - C. STUDS: STUD GRADE D.F.
 - D. STUDS OVER 10' HIGH: NO. 2 OR BETTER
 - E. POST & BEAM DECKING: UTILITY GRADE
 - F. PLYWOOD SHEATHING: 1/2" CDX PLY, 32'x16'
 - G. GLU-LAM BEAMS (EXT. ADH @ EXT. CONDITIONS): F5x240, DRY ADH.

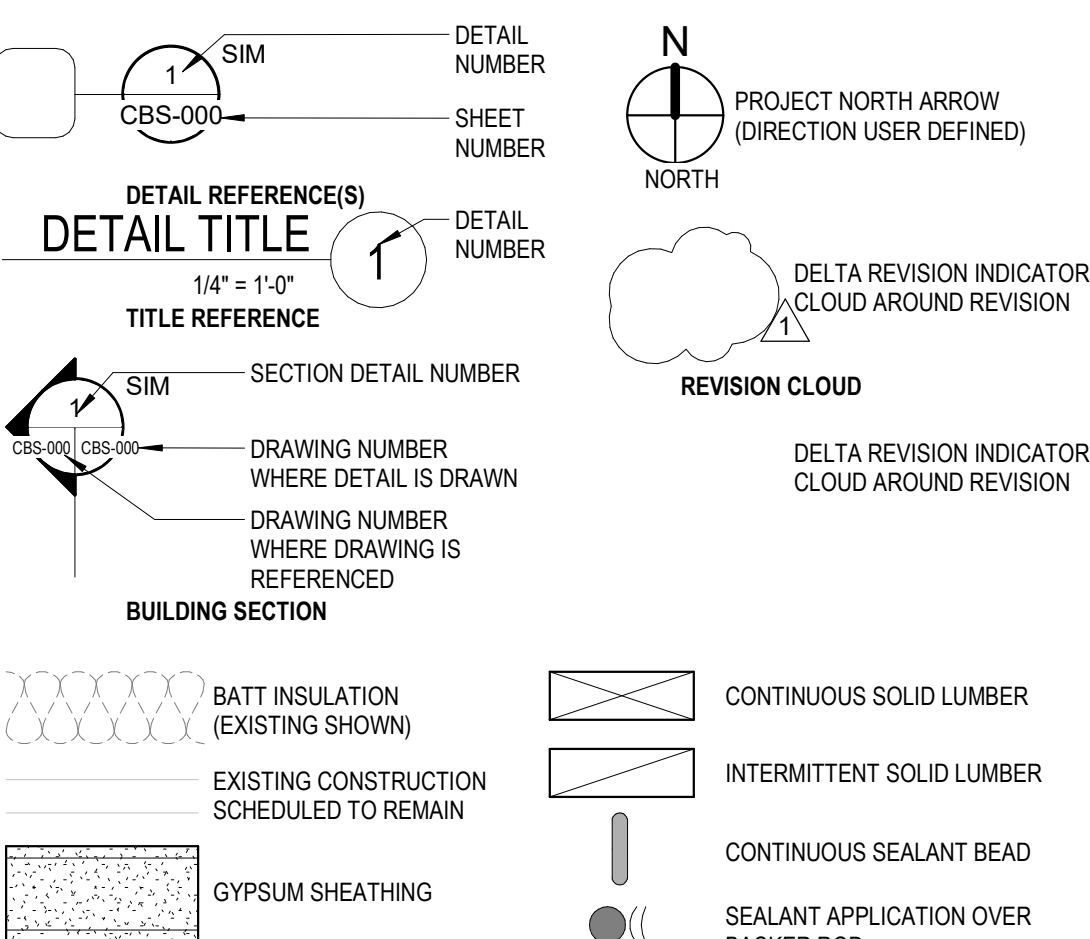
21. NAILING SCHEDULE - UNO:

- | | |
|---------------------------------------|--------------------------|
| A. JOIST TO SILL OR GIRDER | 3-8d TOE NAIL |
| B. 2" SUBFLOOR TO GIRDER | 2-16d BLIND & FACE |
| C. SOLE PL. TO FOUNDATION | 16d @ 18" O.C. FACE NAIL |
| D. SOLE PL. TO JOIST | 16d @ 18" O.C. FACE NAIL |
| E. TOP PL. TO STUDS | 2-16d END NAIL |
| F. STUD TO STUD | 2-8d TOE NAIL OR 2-16d |
| G. END NAIL | 16d @ 18" O.C. FACE NAIL |
| H. DOUBLE STUDS | 16d @ 18" O.C. FACE NAIL |
| I. DOUBLE TOP PL. | 16d @ 18" O.C. FACE NAIL |
| J. CONTINUOUS HEADER (2 PC.) | 16d @ 18" O.C. EDGE NAIL |
| K. CLG. JST. TO PL. | 3-8d TOE NAIL |
| L. CLG. JST. LAP OVER PL. | 3-16d FACE NAIL |
| M. CLG. JST TO RAFTER | 3-16d FACE NAIL |
| N. RAFTER TO TOP PL. | 3-8d TOE NAIL |
| O. COLLAR TIES (EA. END) | 6-10d (U.N.O.) FACE NAIL |
| P. WOOD STRUCTURAL PANELS TO FRAMING: | |

WOOD STRUCTURAL PANEL NAILING SCHEDULE		
	NAIL SPACING - EDGES	NAIL SPACING - INTERMEDIATE SUPPORTS (FIELD)
3/8"-1/2" 6d COMMON OR 2-3/8" X 0.113" NAIL (SUBFLOOR AND WALL)	6"	12"
3/8"-1/2" 6d COMMON OR DEFORMED (21/2" x 0.131" x 0.281" HEAD) (ROOF) OR RSRS-01 (23/8" x 0.113") NAIL (ROOF)	6"	6"
19/32"-3/4" 8d COMMON (2-1/2" X 0.131") (SUBFLOOR AND WALL)	6"	12"
19/32"-3/4" 8d COMMON OR DEFORMED (2-1/2" X 0.131" X 0.281" HEAD) (ROOF) OR RSRS-01 (2-3/8" X 0.113") NAIL (ROOF)	6"	6"

- AT 16" SPACED JOISTS, LAMINATE NEWLY FRAMING TO EXISTING MEMBERS W/ (2) ROWS OF 12d COMMON NAILS AT 12" O.C.
- ANCHORAGE AT SILL: SIMPSON STRONG-TIE "RFB4X4THD6" (1/2" HOT-DIPPED GALVANIZED) ANCHOR BOLTS SET INTO SIMPSON STRONG-TIE "SET-30" HIGH-STRENGTH EPOXY ADHESIVE. CENTER ANCHORS ON NEW SILL PLATES AND INSTALL EVERY 4 FEET O.C.

REFERENCE SYMBOLS / LEGEND



DRAWING TERMS:

- DEMOLISH: COMPLETELY REMOVE AND LEGALLY DISPOSE OF OFF-SITE.
- NEW (ITEM): A TERM USED ON DRAWINGS TO INDICATE THAT AN ITEM IS PROVIDED AS NEW WORK. ASSUME ALL WORK NOT NOTED AS EXISTING IS NEW UNLESS ADDRESSED BY ALLOWANCES AND/OR ALTERNATES.
- PROTECT (ITEM): A TERM USED ON DRAWINGS TO INDICATE AN ITEM REQUIRES PROTECTION FROM THE WORK.
- REMOVE (ITEM): A TERM USED ON DRAWINGS TO INDICATE A SPECIFIC ITEM TO BE DETACHED FROM EXISTING CONSTRUCTION AND LEGALLY DISPOSED OF OFF-SITE, UNLESS INDICATED OTHERWISE TO BE REMOVED, SALVAGED, AND REINSTALLED.
- REMOVE AND REINSTALL (ITEM): A TERM USED ON DRAWINGS TO INDICATE A SPECIFIC ITEM TO BE DETACHED FROM EXISTING CONSTRUCTION, PREPARED FOR REUSE, AND REINSTALLED BACK IN ITS EXISTING LOCATION.
- RELOCATE (ITEM): A TERM USED IN DRAWINGS TO INDICATE AN EXISTING ITEM THAT HAS BEEN REMOVED, AND TO BE REINSTALLED IN A NEW LOCATION.
- SALVAGE (ITEM): CAREFULLY DETACH FROM EXISTING CONSTRUCTION, IN A MANNER TO PREVENT DAMAGE READY FOR REUSE. INCLUDE FASTENERS OR BRACKETS NEEDED FOR REATTACHMENT IN ORIGINAL LOCATION OR ELSEWHERE.
- EXISTING TO REMAIN (ITEM): A TERM USED ON DRAWINGS TO INDICATE EXISTING ITEMS OF CONSTRUCTION THAT ARE NOT BE REMOVED AND THAT ARE NOT OTHERWISE INDICATED TO BE REMOVED, SALVAGED, OR REMOVED AND REINSTALLED. EXISTING TO REMAIN IS INDICATED BY GRAPHIC LINE/TYPE SYMBOL.

ENCLOSURE COMPONENT GENERAL NOTES:

MEMBRANE INSTALLATION:

- CLEAN AND PREPARE SURFACE PRIOR TO INSTALLATION OF ALL MEMBRANES IN ACCORDANCE TO MANUFACTURERS' RECOMMENDATIONS OR AS DIRECTED BY CONSULTANT. APPLY PRIMERS TO ACHIEVE FULL ADHESION.
- PROVIDE SADDLE FLASHING AT INTERSECTIONS AT BALCONY/ROOF PARAPET AND WALL; BALCONY EDGE TO WALL AND ALL SIMILAR TYPE TRANSITIONS THAT MAY OCCUR WITHIN THE BUILDING ENVELOPE ASSEMBLIES.

METAL FLASHING:

- FORM JOINTS ARE TO BE S-LOCK OR STANDING SEAMS UNLESS OTHERWISE APPROVED; FORM INTERNAL & EXTERNAL CORNERS IN METAL FLASHINGS WITH JOINT ASSEMBLY SHOWN IN DRAWINGS.
- TERMINATE METAL FLASHINGS WITH UPFOLDED 12 IN. HIGH END DAMS OR KICKERS.
- INSTALL METAL HEAD FLASHINGS WITH UPFOLDED END DAMS OVER WINDOWS AND DOORS. EXTENDED FLASHING AS DETERMINED BY CONSULTANT. CONTRACTOR TO FIELD VERIFY THAT METAL HEAD FLASHING SHOULD NOT INTERFERE WITH OPERATION OF WINDOWS, DOORS OR ACCESS PANELS.
- FORM FLASHINGS WITH 15° SLOPE TO DRAIN U.N.O.

EXTERIOR OPENINGS AND PENETRATIONS:

- NO CONCERNED EFFORT HAS BEEN MADE BY CONSULTANT TO QUANTIFY THE EXTERIOR FIXTURES, SUCH AS LIGHT FIXTURES, CONVENIENCE RECEPTACLES, EXHAUST VENTS, PIPE PENETRATIONS, HOSE BIBS, ELECTRICAL OR METERS, ETC. CONTRACTOR SHALL PERFORM OWN QUANTITY SURVEY.
- INSTALL SEALANT JOINT WITH BACKER ROD AROUND INTERIOR PERIMETER OF OPENINGS FOR AIR BARRIER CONTINUITY.
- FORM EXTERIOR PERIMETER SEALANT JOINTS 3/8 IN. WIDE WITH CLOSED CELL BACKER ROD U.N.O. MAINTAIN JOINT WIDTH/DEPTH RATIO OF 2:1.

CODE SUMMARY

GOVERNING CODES:

- BUILDING: 2022 OREGON STRUCTURAL SPECIALTY CODE (OSSC)
- 2021 OREGON EXISTING BUILDING CODE (OEB)
- ENERGY: 2025 OREGON ENERGY EFFICIENCY SPECIALTY CODE (OEESC)
- ELECTRICAL: 2023 OREGON ELECTRICAL CODE (OEC)
- MECHANICAL: 2023 OREGON MECHANICAL SPECIALTY CODE (OMSC)
- PLUMBING: 2023 OREGON PLUMBING CODE (OPC)

CONSTRUCTION TYPE:

- TYPE V-B, PER 2022 OSSC TABLE 601
- STRUCTURES ARE ASSUMED TO BE CONSTRUCTED ORIGINALLY UNDER THE 1998 OSSC BUILDING CODE WITH LOCAL AMENDMENTS - TYPE 5 - NO-HOUR - SPRINKLERED.

OCCUPANCY CLASSIFICATION:

- GROUP E - EDUCATIONAL, PER 2022 OSSC SECTION 310.3

FIRE DETECTION AND SUPPRESSION:

- EXISTING SMOKE DETECTION AND FIRE ALARM SYSTEMS TO REMAIN IN-SERVICE, NEPA 15

EGRESS:

- EXISTING PATHWAYS TO THE PUBLIC WAY TO REMAIN IN-SERVICE AND UNOBSTRUCTED THROUGHOUT THE COURSE OF THE WORK.

PARKING:

- NO CHANGE

BUILDING FOOTPRINT:

- NO CHANGE

GENERAL NOTES - ENERGY CONSERVATION

APPLICABLE ENERGY CODE:	2025 OREGON ENERGY EFFICIENCY SPECIALTY CODE (ASHRAE 90.1-2022)
CLIMATE ZONE (TABLE C301.1):	5B
OCCUPANCY TYPE(S) (IBC 302.1):	E - EDUCATIONAL

THIS DESIGN IS IN CONFORMANCE WITH THE PRESCRIPTIVE BUILDING ENVELOPE REQUIREMENTS OF OEESC TABLE 5.5.5, AND AS NOTED BELOW FOR EACH BUILDING COMPONENT AND / OR PORTION OF THE BUILDING.

BUILDING ELEMENTS (PER TABLE 5.5-5)

CONSTRUCTION COMPONENT	REQUIRED (ALL OTHERS)	PROVIDED (ALL OTHERS)
ROOF ASSEMBLIES		
ATTIC OR JOIST FRAMING	R-49	N/A
INSULATION ENTIRELY ABOVE DECK	R-30ci	R-30d
EXTERIOR WALLS		
WOOD FRAMED (EXIST)R-19		R-21

GENERAL INSULATION AND ENERGY CODE NOTES:

- EXPOSED INSULATION MATERIALS, INCLUDING FACINGS AND VAPOR BARRIERS, SHALL HAVE A FLAME SPREAD INDEX NOT TO EXCEED 25 AND A SMOKE DENSITY NOT TO EXCEED 450, AND SHALL BE IN SUBSTANTIAL CONTACT WITH THE WALL OR CEILING SURFACE.
- ALL INSULATION SHALL STRICTLY CONFORM TO THE REQUIREMENTS OF UL LISTING WHERE USED IN UL RATED ASSEMBLIES

PROJECT DATA

OWNER: REDMOND SCHOOL DISTRICT
OWNER CONTACT: DAREK OLSON
CERTA PROJECT MANAGER: DAN RUNDLE, drundle@certasolutions.com
PROJECT ADDRESS: 2105 W ANTLER AVE, REDMOND, OR 97756
PROPERTY ID: 1513080000
ZONING: PF (PUBLIC FACILITY)
JURISDICTION: CITY OF REDMOND

LEGAL DESCRIPTION

TAX LOT NO: 15130800/3000
ZONING: PF (PUBLIC FACILITY)
PROPERTY DESCRIPTION: LOT PT PARCEL 2 BLOCK

PROJECT TEAM

OWNER

REDMOND SCHOOL DISTRICT 2J

145 SE SALMON AVE, SUITE 100
REDMOND, OR 97756

PHONE: 525-451-3528

EMAIL: DAREK.OLSON@HMMCO.ORG

CONTACT: DAREK OLSON

ARCHITECT

CERTA BUILDING SOLUTIONS

2715 SE 5TH AVE, SUITE 100
PORTLAND, OR 97202

PHONE: 503.312.0475

EMAIL: DRUNDLE@CERTASOLUTIONS.COM

CONTACT: DAN RUNDLE

ARCHITECT: DAN RUNDLE

DEFERRED SUBMITTALS

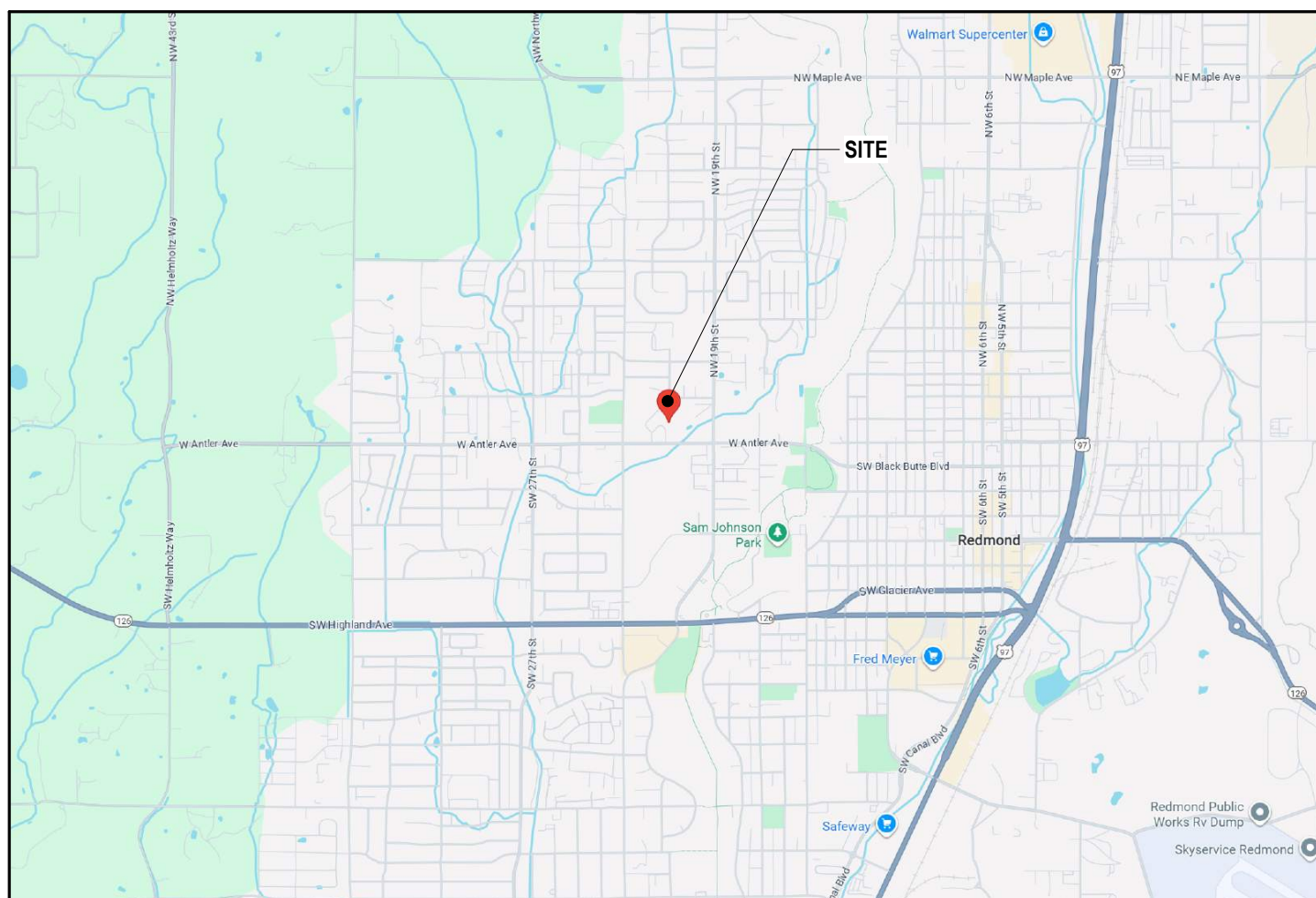
- NO DEFERRED SUBMITTALS OR DELEGATED DESIGN ELEMENTS ARE INCLUDED AS PART OF THE BASE SCOPE FOR THIS PROJECT

GENERAL NOTES - PROJECT

- ALL WORK IS TO COMPLY WITH CODES LISTED IN THE CODE SUMMARY TABLE ON THIS SHEET
- CLASSIFICATION OF WORK:
 - A. LEVEL 1: RE-ROOFING OF EXISTING BUILDING
- THE CONTRACTOR IS RESPONSIBLE TO CHECK THE PLANS AND IS TO NOTIFY THE ARCHITECT OF ANY CONFLICTING INFORMATION PRIOR TO THE START OF CONSTRUCTION.
- WRITTEN DIMENSIONS HAVE PRECEDENCE OVER SCALED DIMENSIONS; DO NOT SCALE THE DRAWINGS. WHERE DIMENSIONS IN DRAWINGS DIFFER FROM EXISTING CONDITIONS, NOTIFY ARCHITECT FOR CLARIFICATION OF DETAILING ADJUSTMENT FROM TO PROCESSING WITH WORK.
- COLUMN DIMENSIONS ARE AS FOLLOWS:
 - A. COLUMNS: TO CENTERLINE OF COLUMN
 - B. WOOD WALLS: FACE OF FRAMING UNLESS NOTED OTHERWISE
 - C. CONCRETE: FACE OF FINISHED CONCRETE
 - D. FLOORS: FINISHED FLOOR ELEVATION (FFE)
- READ DRAWINGS IN CONJUNCTION WITH PROJECT MANUAL (SPECIFICATIONS).
- DO NOT SCALE DRAWINGS. VERIFY DIMENSIONS ON SITE.
- DRAWINGS HAVE BEEN PRODUCED FROM AVAILABLE RECORD DOCUMENTS AND LIMITED FIELD OBSERVATION. CONTRACTOR TO BRING DISCREPANCIES BETWEEN CERTA DOCUMENTS AND ACTUAL PROJECT CONDITIONS TO THE IMMEDIATE ATTENTION OF THE ARCHITECT / CONSULTANT AND REQUEST A REVIEW WHEN DISCREPANCIES ARE DISCOVERED.
- EXECUTION OF THE CONTRACT BY THE CONTRACTOR IS A REPRESENTATION THAT THE CONTRACTOR HAS VISITED THE SITE, BECOME GENERALLY FAMILIAR WITH THE LOCAL CONDITIONS UNDER WHICH THE WORK IS TO BE PERFORMED AND CORRELATED PERSONAL OBSERVATIONS WITH REQUIREMENTS OF THE CONTRACT DOCUMENTS.
- CONTRACT DRAWINGS ARE COMPLEMENTARY, AND WHAT IS REQUIRED BY ANY ONE SHALL BE BINDING AS IF REQUIRED BY ALL. BEFORE STARTING EACH PORTION OF THE WORK, CAREFULLY STUDY AND COMPARE THE VARIOUS DRAWINGS AND OTHER CONTRACT DOCUMENTS RELATIVE TO THAT PORTION OF THE WORK, AS WELL AS INFORMATION FURNISHED BY OWNER. TIME FIELD MEASUREMENTS OF ANY EXISTING CONDITIONS RELATED TO THAT PORTION OF THE WORK AND OBSERVE CONDITIONS AT THE SITE AFFECTING IT. THESE OBLIGATIONS ARE FOR THE PURPOSE OF FACILITATING CONSTRUCTION BY THE CONTRACTOR AND NOT FOR THE PURPOSE OF DISCOVERING ERRORS, OMISSIONS, OR INCONSISTENCIES IN THE CONTRACT DOCUMENTS; HOWEVER, REPORT ERRORS, OMISSIONS, OR INCONSISTENCIES DISCOVERED BY THE CONTRACTOR PROMPTLY TO THE CONSULTANT AS A REQUEST FOR INTERPRETATION IN THE FORM PROVIDED IN THE PROJECT MANUAL.
- REPETITIVE FEATURES, REGARDLESS OF ORIENTATION, NOT SHOWN ON DRAWINGS SHALL BE COMPLETELY PROVIDED AS IF DRAWN IN FULL.
- REPORT DISCREPANCIES IN CONTRACT DOCUMENTS TO ARCHITECT / CONSULTANT FOR CLARIFICATION PRIOR TO COMMENCING WORK.
- IMMEDIATELY NOTIFY ARCHITECT/CONSULTANT UPON DISCOVERY OF ADDITIONAL UNFORESEEN DAMAGE TO EXISTING CONSTRUCTION SCHEDULED TO REMAIN AND THAT IS OUTSIDE THE CONTRACT. REQUEST A REVIEW. DO NOT COMMENCE RELATED WORK TO NEARBY WORK WITHOUT CONSULTANT APPROVAL.
- TRADE CONTRACTORS ARE RESPONSIBLE FOR THE LAYOUT OF THEIR OWN WORK, AND TO SEE THAT THEIR WORK COMES TOGETHER WITH THAT OF OTHERS WITH THE DESIGN INTENT IDENTIFIED IN THE DOCUMENTS. REPORT DISCREPANCIES ON DRAWINGS TO CONSULTANT FOR IDENTIFICATIONS.
- TRADE CONTRACTORS MUST ASSURE THEMSELVES THAT THEY HAVE THE LATEST DRAWINGS ISSUED FOR CONSTRUCTION. THE GENERAL CONTRACTOR IS TO MAINTAIN A WORKING SET IN THE CONTRACTOR SITE OFFICE AND MAKE IT AVAILABLE FOR SUB-CONTRACTOR USE.
- EMPLOY ORIGINAL JOURNEYMAN TRADESMAN OR ORIGINAL INSTALLERS OF NEW WORK TO PERFORM CUTTING AND PATCHING OF NEW WORK, IF APPLICABLE.
- ALL RECONSTRUCTED WALLS TO MATCH (E) STUD FRAMING SIZING, SPACING, AND ANCHORING PATTERNS. VERIFY EACH IS CONSISTENT WITH THE ORIGINAL DESIGN DOCUMENTS.
- ALL REPAIRED, EXPOSED INSULATION IS TO HAVE A FLAME SPREAD RATING OF LESS THAN 25 AND A SMOKE DENSITY RATING OF LESS THAN 450.
- HANDRAILS ARE REQUIRED ON ALL INTERIOR OR EXTERIOR STAIRS, U.N.O. NOTIFY CONSULTANT IF FOUND TO BE MISSING.
- EXISTING BUILDING HEIGHT AND AREAS ARE NOT TO BE CHANGED.
- EXISTING EMERGENCY LIGHTING AND EXIT PATHS TO BE MAINTAINED.

DRAWING INDEX

SHEET NUMBER	SHEET NAME
01 - GENERAL	
G000	COVER SHEET
02 - ARCHITECTURAL	
A100	ROOF PLAN
03 - BUILDING ENCLOSURE	
BE100	LOW SLOPE ROOF DETAILS & FLASHING JOINTS
BE101	STEEP SLOPE ROOF DETAILS



VICINITY MAP N.T.S. 3

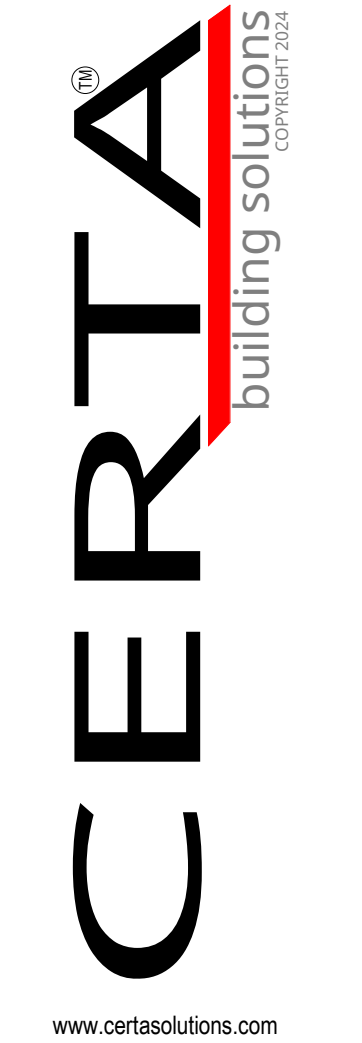
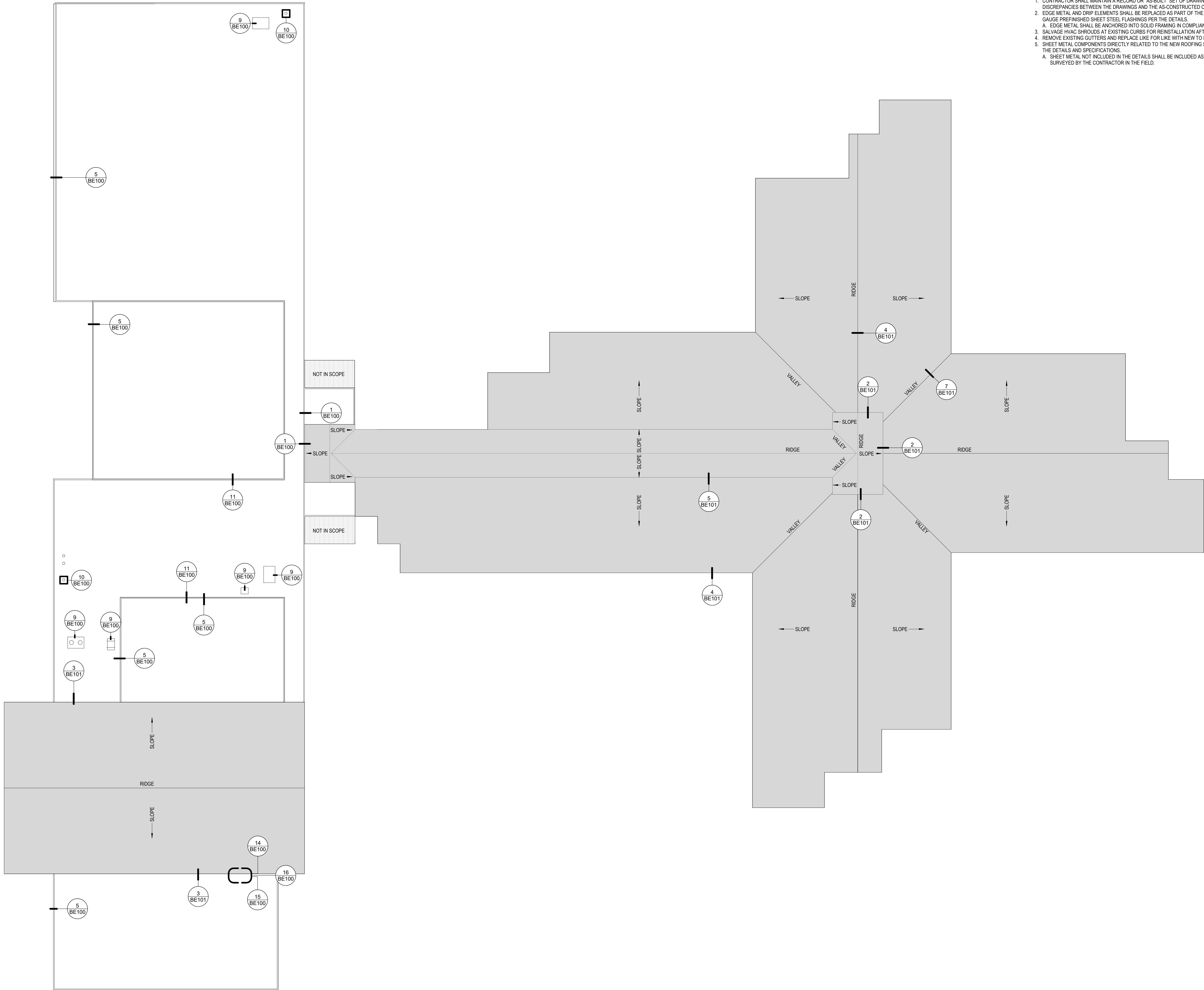


GENERAL ROOF PLAN SHEET NOTES

1. ROOF PLANS HAVE BEEN DEVELOPED BASED UPON THE AVAILABLE INFORMATION PRIOR TO THE COMMENCEMENT OF THIS DESIGN PACKAGE. CONTRACTOR SHALL VISUALLY REVIEW EXISTING CONDITIONS IN THE FIELD AND MEASURE AREAS TO RECEIVE NEW ROOFING MATERIALS.
2. ROOF PLANS DO NOT PURPORT TO SHOW ALL EXISTING MECHANICAL ELEMENTS, PENETRATIONS, OR OTHER IN-SERVICE ELEMENTS. THE ROOF PLAN SHOULD BE CONSIDERED A GUIDE ONLY - IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO FIELD-VERIFY ELEMENTS.
3. CONTRACTOR SHALL FIELD-VERIFY LOCATIONS PRIOR TO BID. CONTRACTOR SHALL NOTIFY CONSULTANT OF DISCREPANCIES ENCOUNTERED DURING FIELD VERIFICATION, IF ANY.

SCOPE OF REPAIR NOTES

1. CONTRACTOR SHALL MAINTAIN A RECORD OR "AS-BUILT" SET OF DRAWINGS, CLEARLY IDENTIFYING SUCH DISCREPANCIES BETWEEN THE DRAWINGS AND THE AS-CONSTRUCTED CONDITIONS.
2. EDGE METAL AND DRIP ELEMENTS SHALL BE REPLACED AS PART OF THE WORK. PROVIDE MINIMUM 24 GAUGE PREFINISHED SHEET STEEL FLASHINGS PER THE DETAILS.
 - A. EDGE METAL SHALL BE ANCHORED INTO SOLID FRAMING IN COMPLIANCE WITH ANSISPR E5-1.
3. SALVAGE HVAC SHROUDS AT EXISTING CURBS FOR REINSTALLATION AFTER COMPLETION OF THE NEW ROOF.
4. REMOVE EXISTING GUTTERS AND REPLACE LIKE FOR LIKE WITH NEW TO MATCH ORIGINAL DESIGN INTENT.
5. SHEET METAL COMPONENTS DIRECTLY RELATED TO THE NEW ROOFING SYSTEM SHALL BE REPLACED PER THE DETAILS AND SPECIFICATIONS.
 - A. SHEET METAL NOT INCLUDED IN THE DETAILS SHALL BE INCLUDED AS PART OF THE BASE BID, AND AS SURVEYED BY THE CONTRACTOR IN THE FIELD.



HUGH HARTMAN ELEMENTARY SCHOOL

2105 W ANTLER AVE, REDMOND, OR 97756

BID SET

REVISIONS

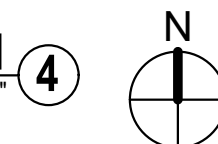


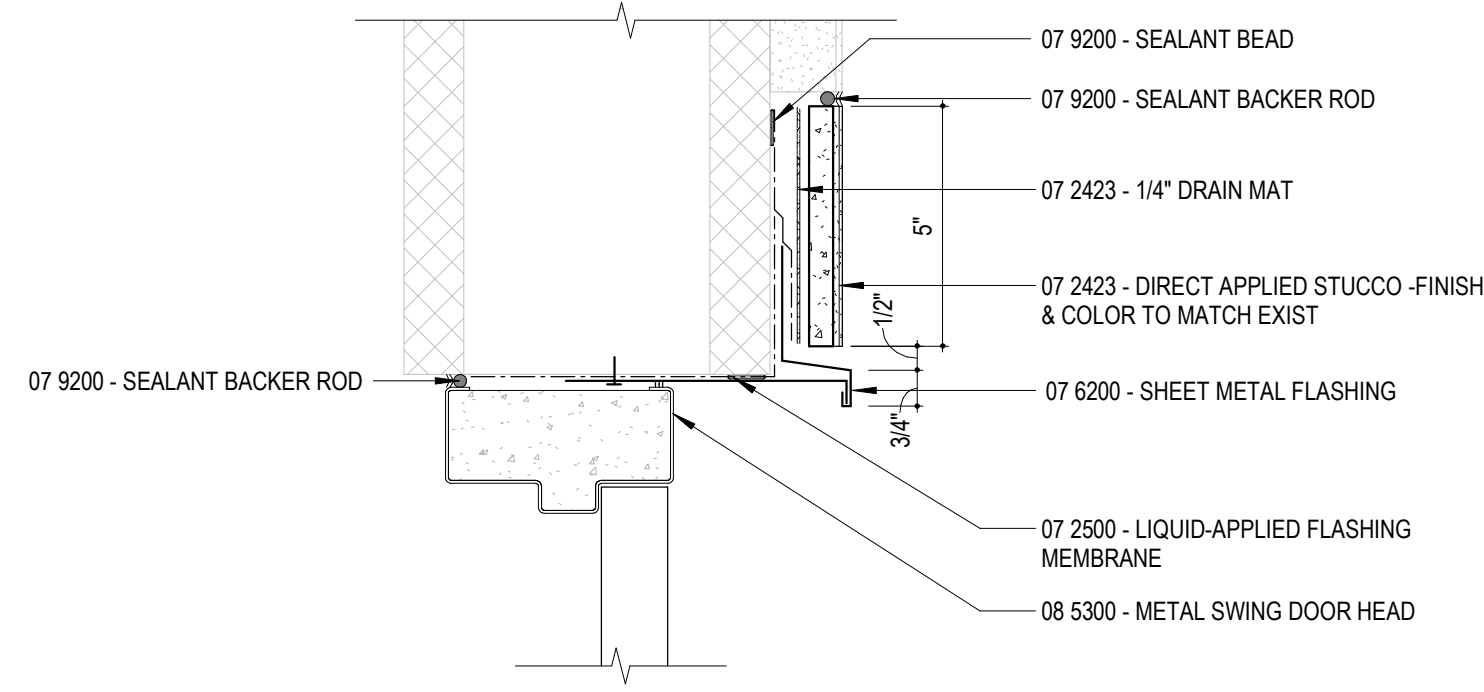
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ISSUE DATE: 2026-01-21
PROJECT NO.: OR23-081

ROOF PLAN

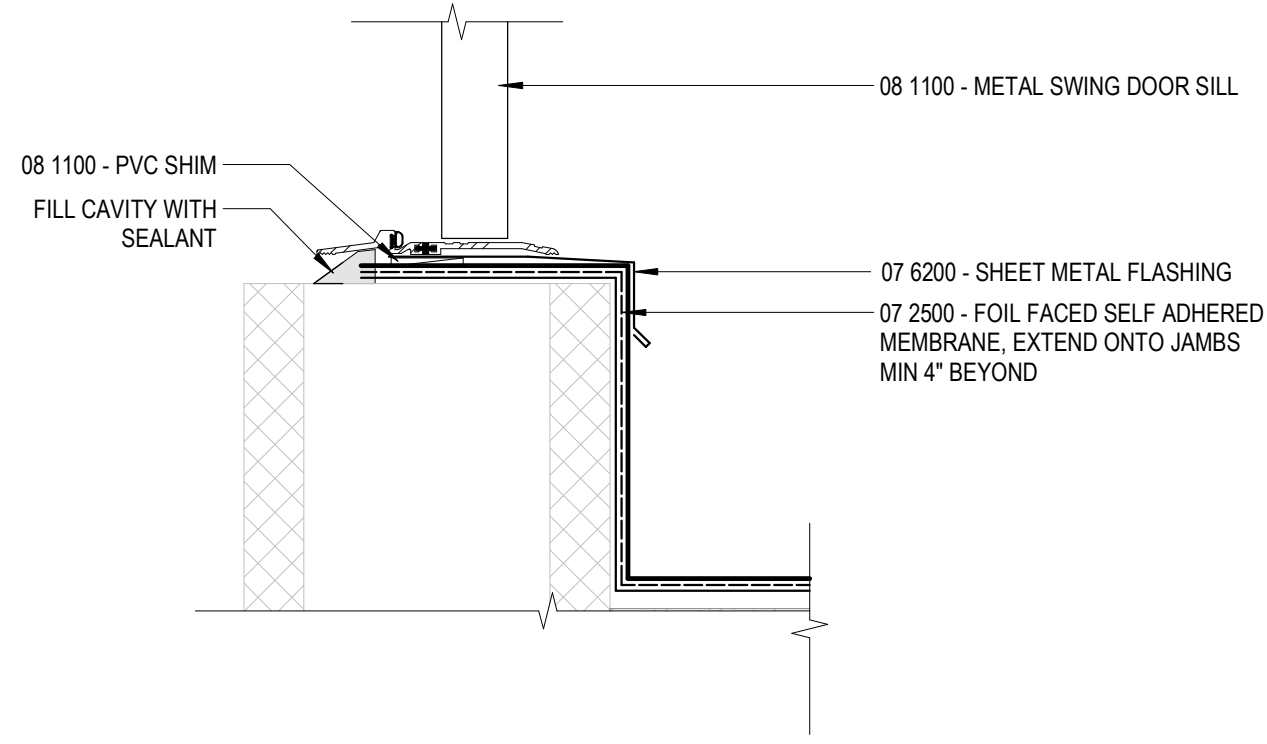
A100

ROOF PLAN
1/16" = 1'-0"

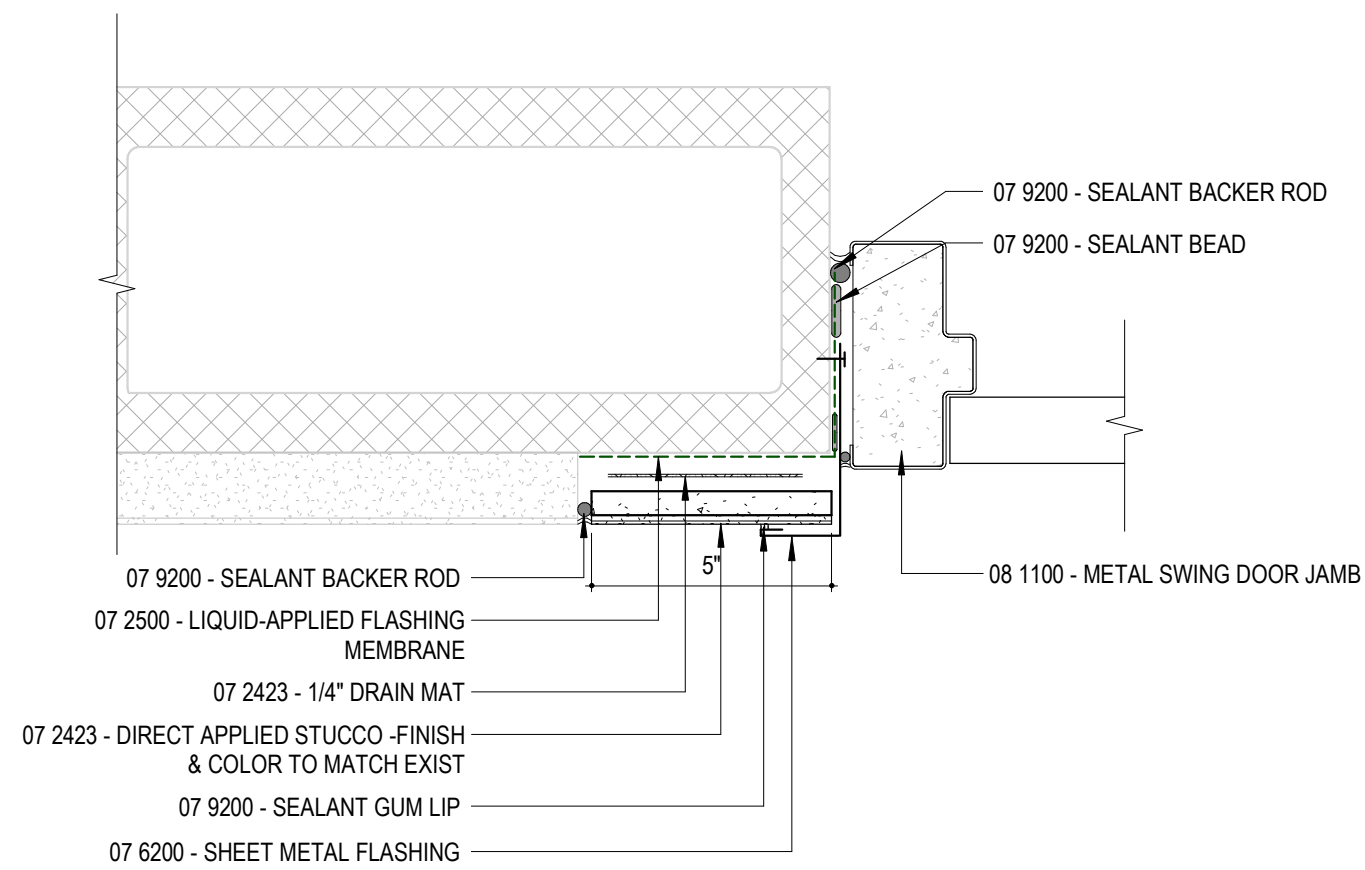




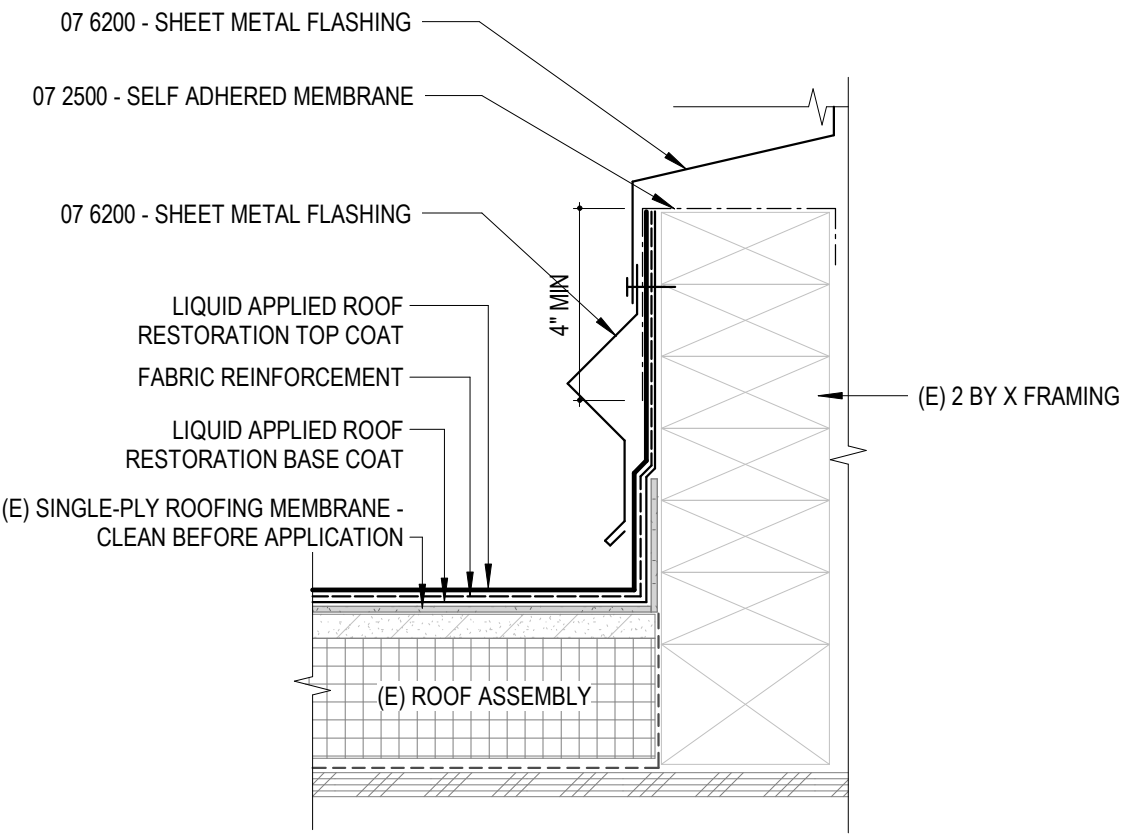
SWING DOOR HEAD
3" = 1'-0"



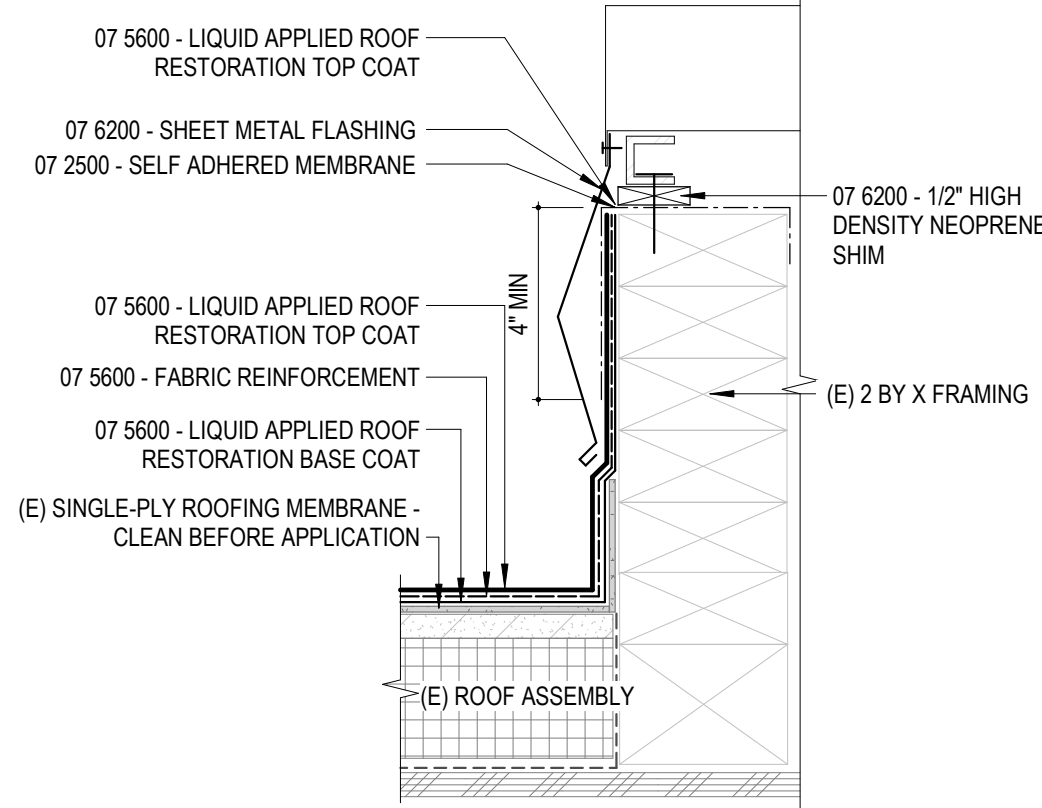
SWING DOOR SILL
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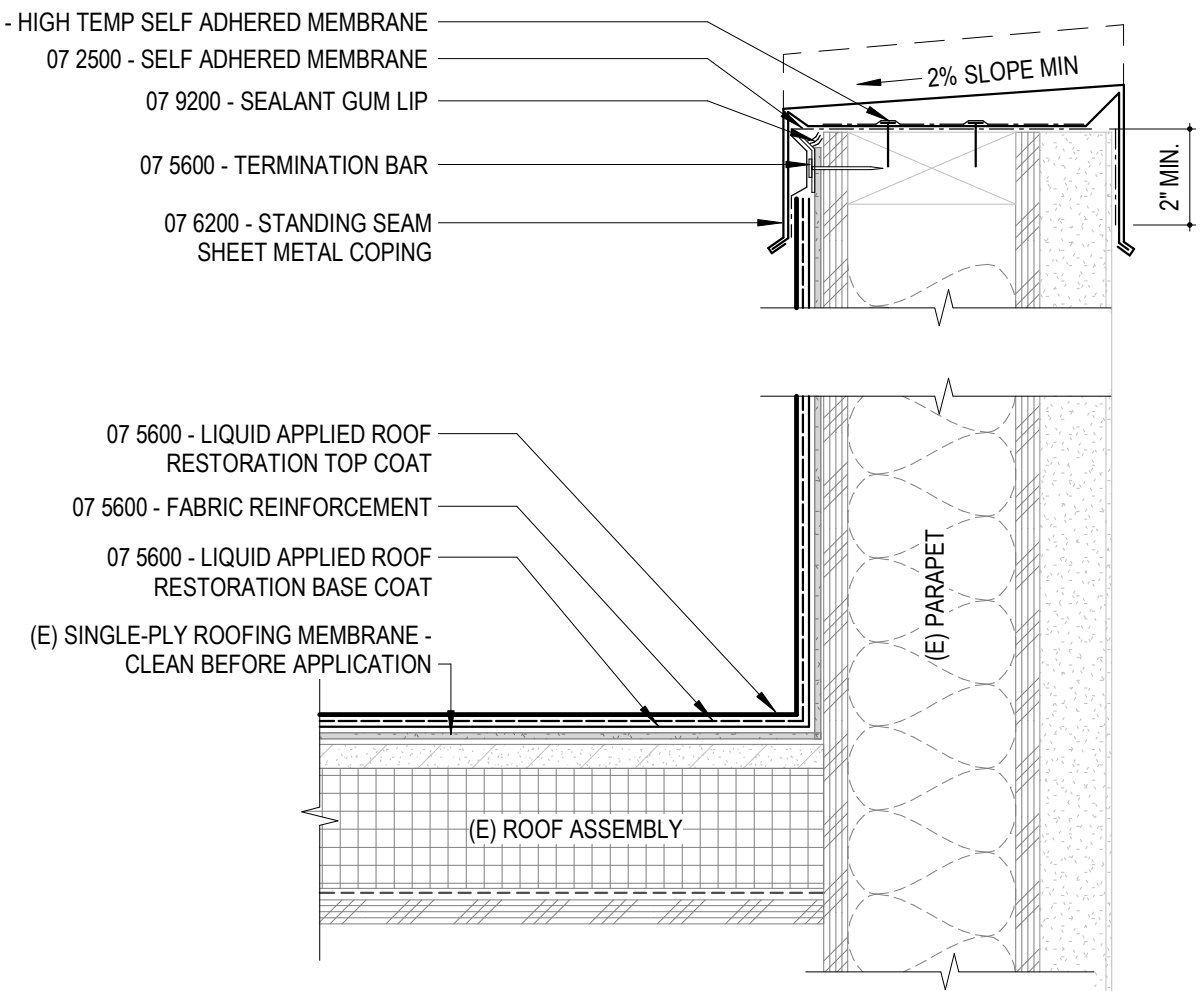
SWING DOOR JAMB
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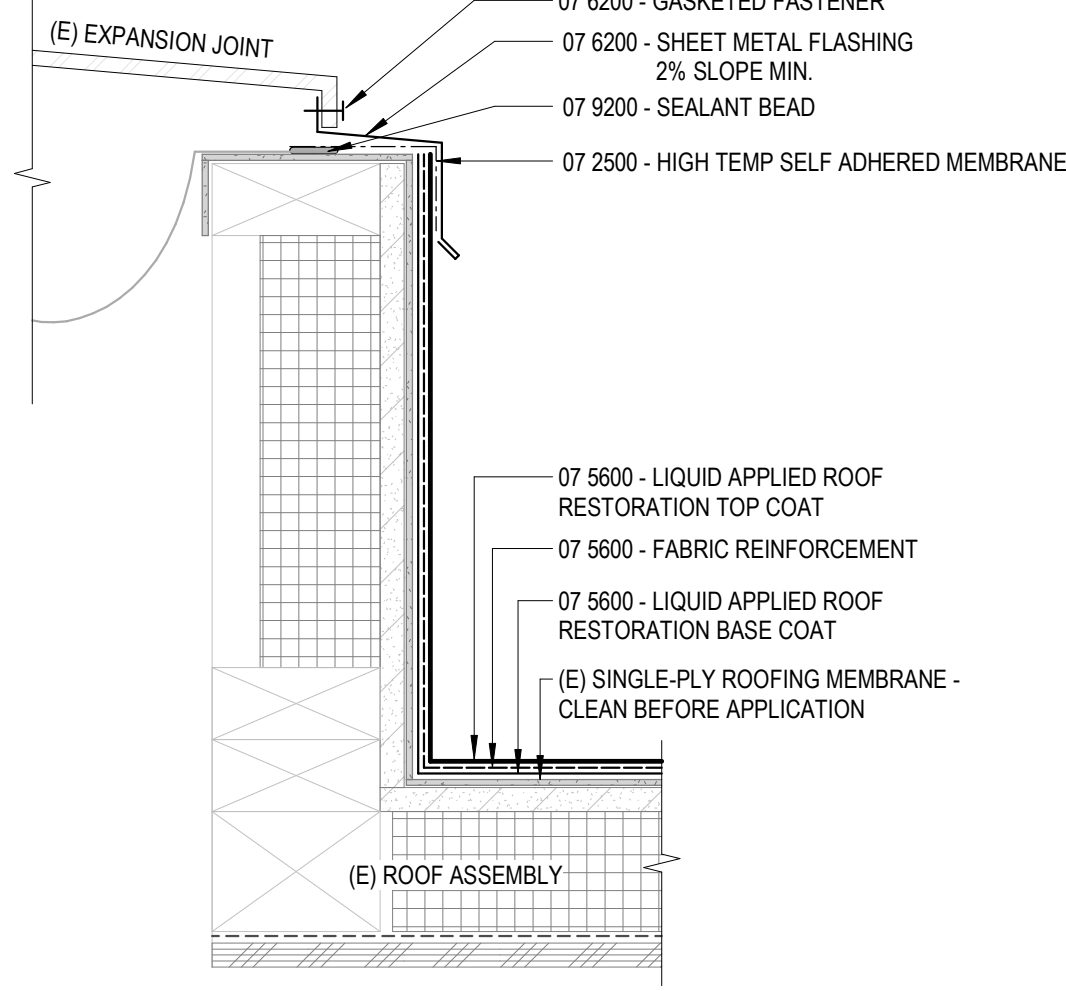
LOW SLOPE ROOF - MECH CURBS
3" = 1'-0"



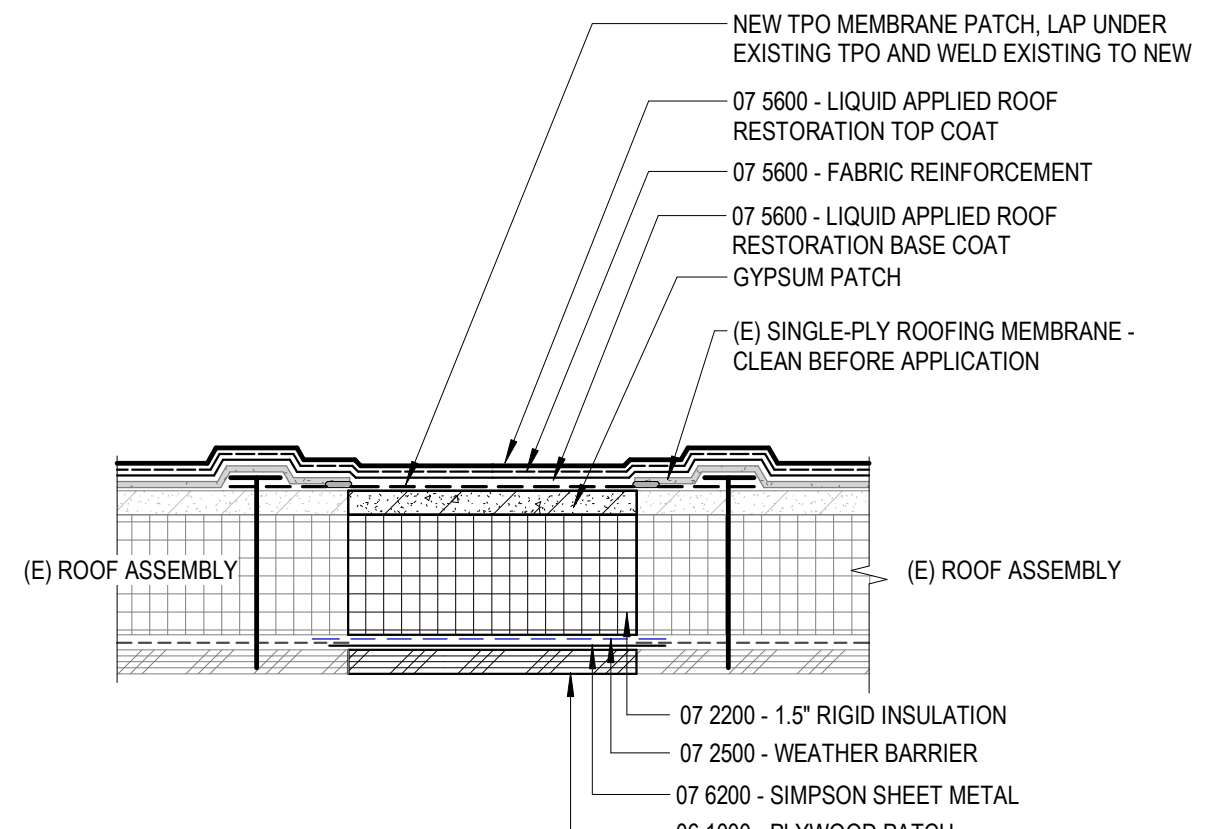
LOW SLOPE ROOF - PARAPET
3" = 1'-0"



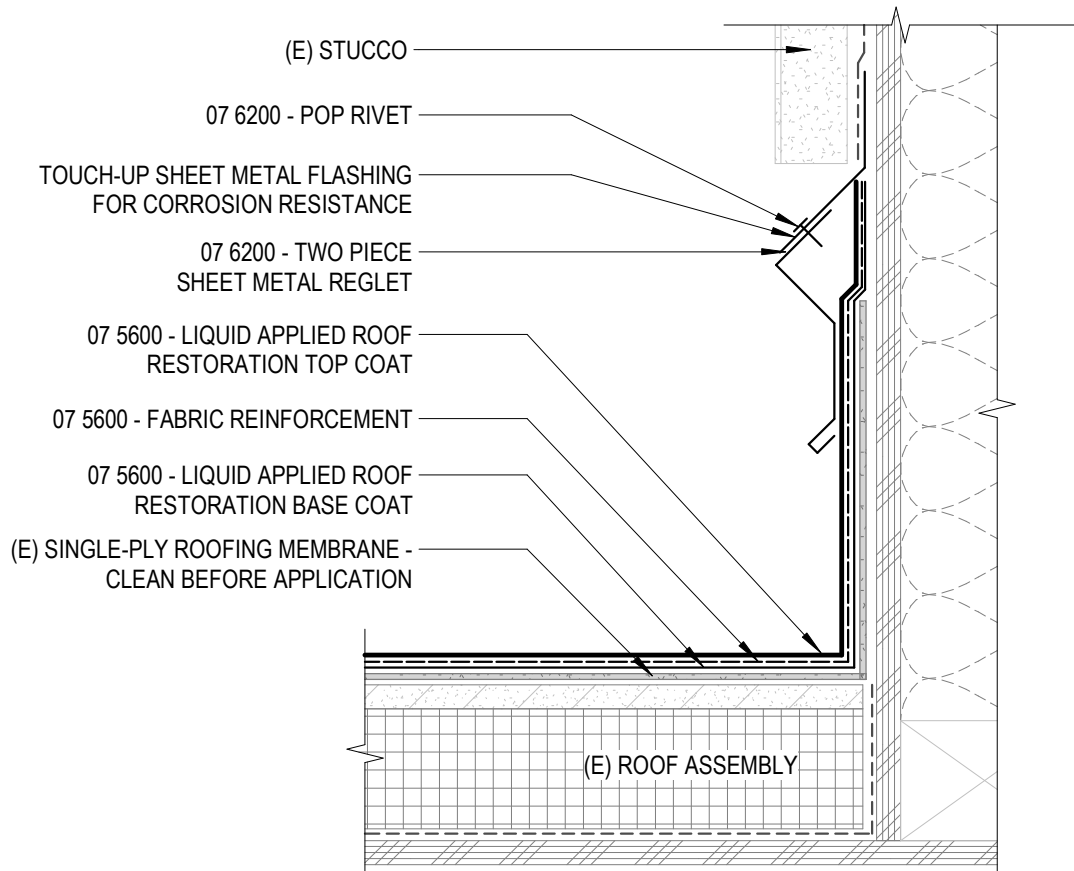
LOW SLOPE ROOF - EXPANSION JOINT
3" = 1'-0"



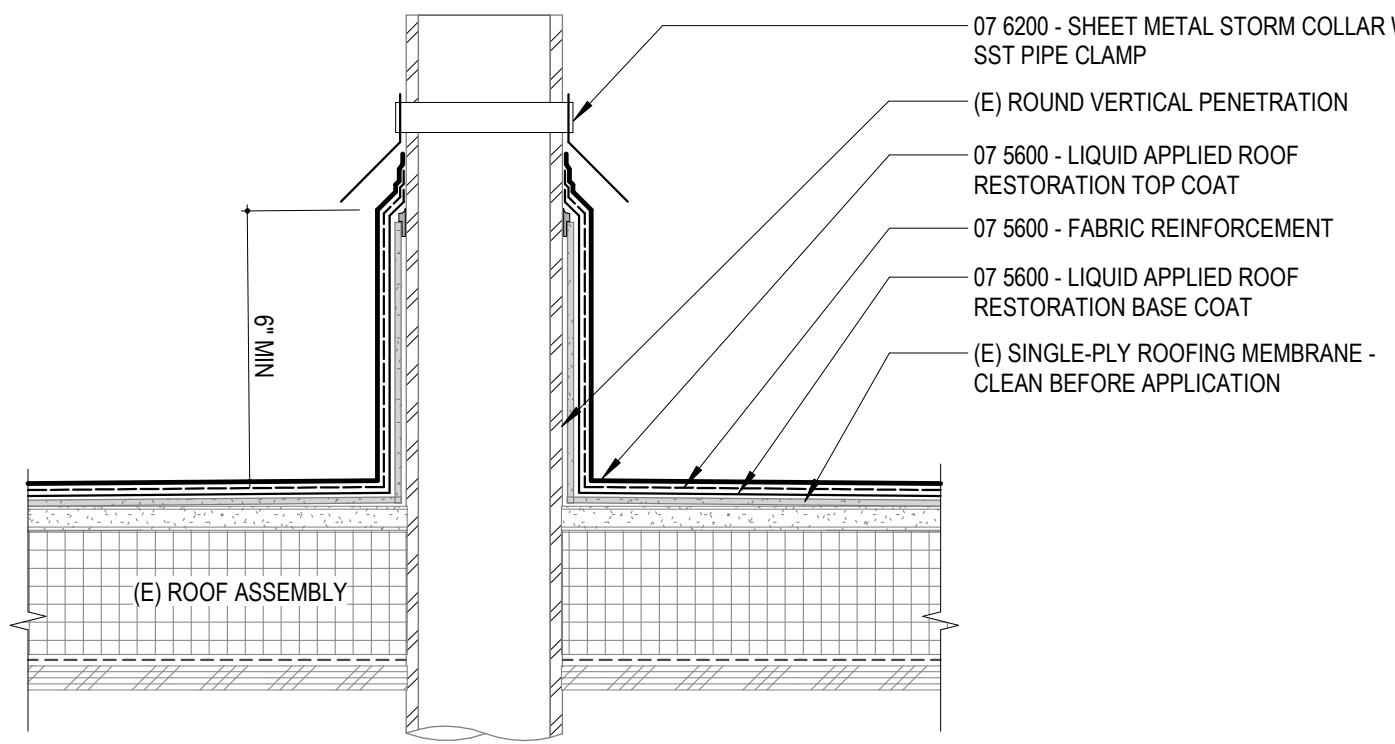
LOW SLOPE ROOF - TYP PIPE PENETRATION
3" = 1'-0"



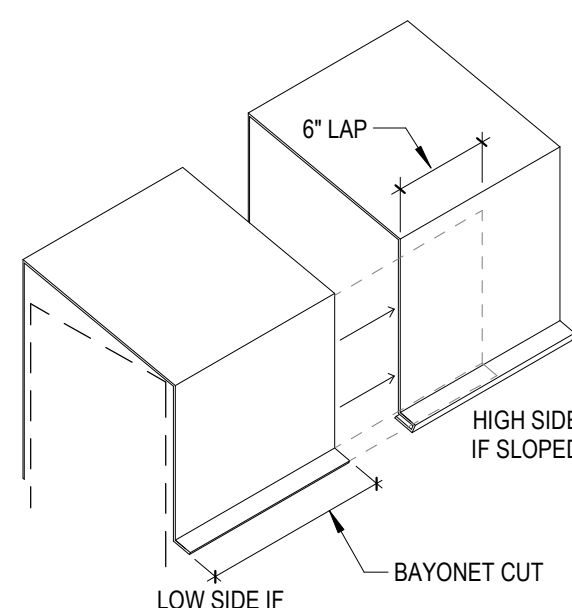
LOW SLOPE ROOF - TPO PATCHES
3" = 1'-0"



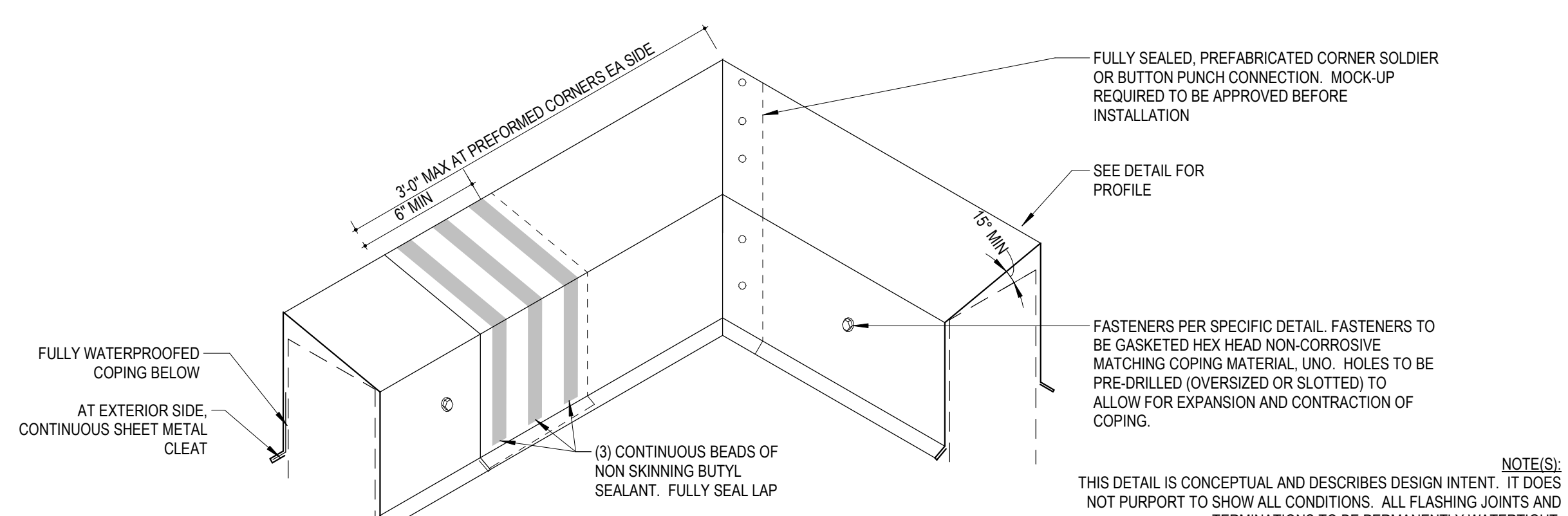
LOW SLOPE ROOF - BASE OF WALL
TRANSITION
3" = 1'-0"



LOW SLOPE ROOF - TYP PIPE PENETRATION
3" = 1'-0"

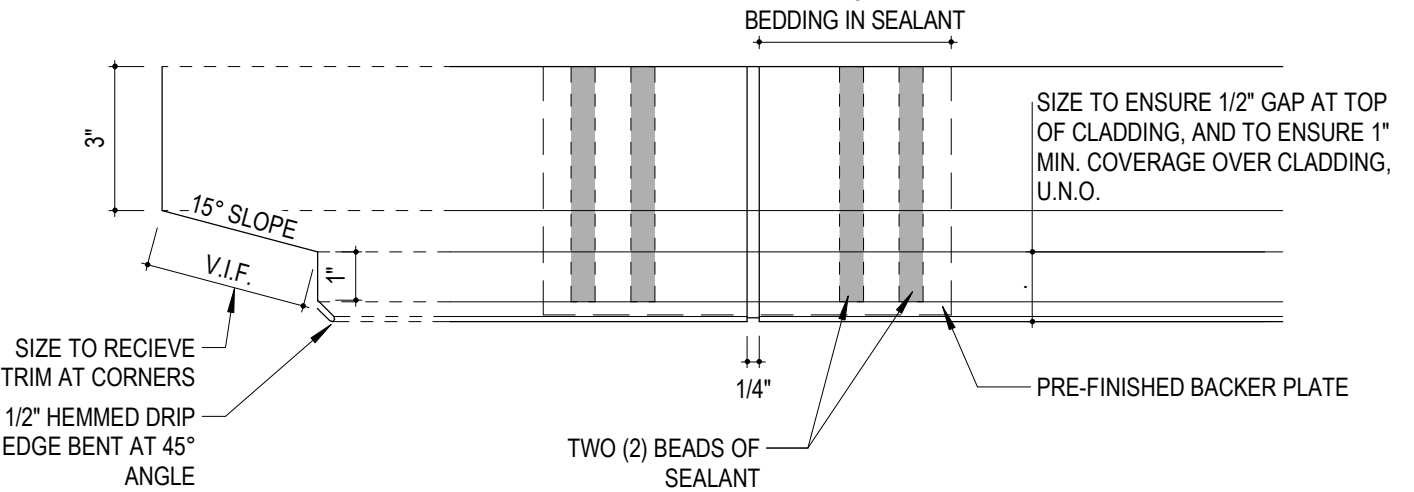
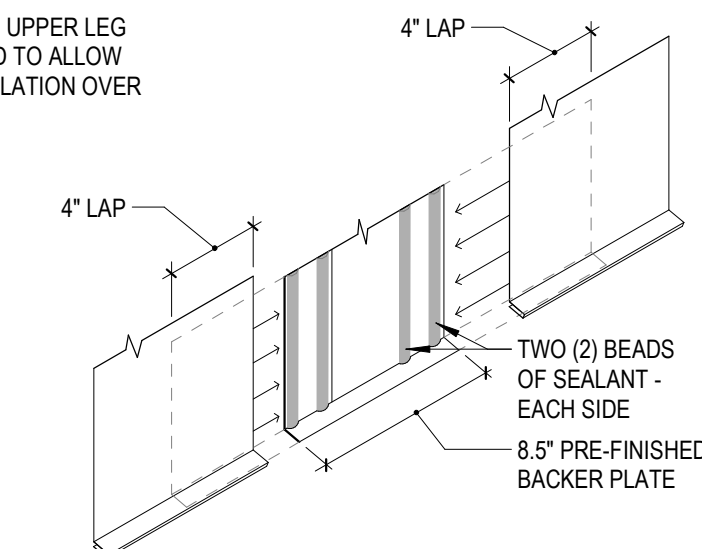
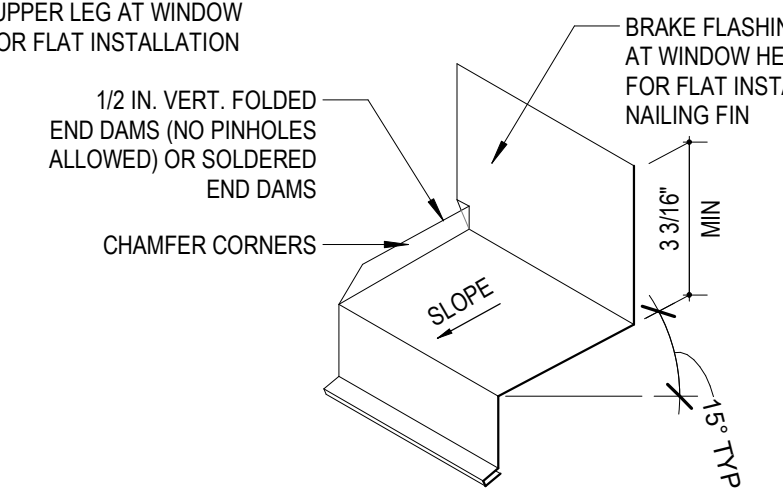
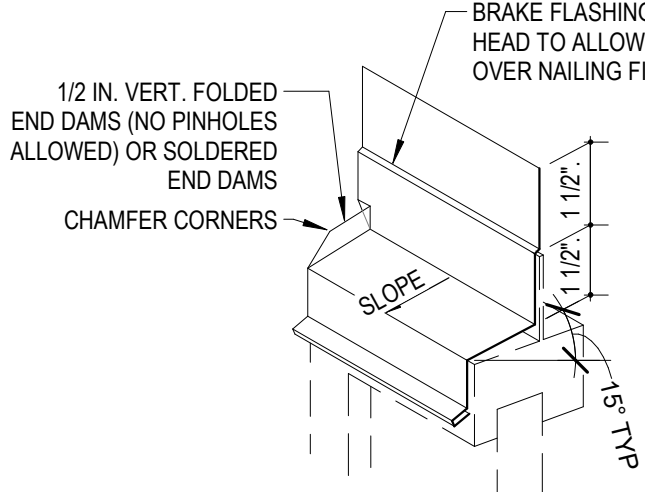
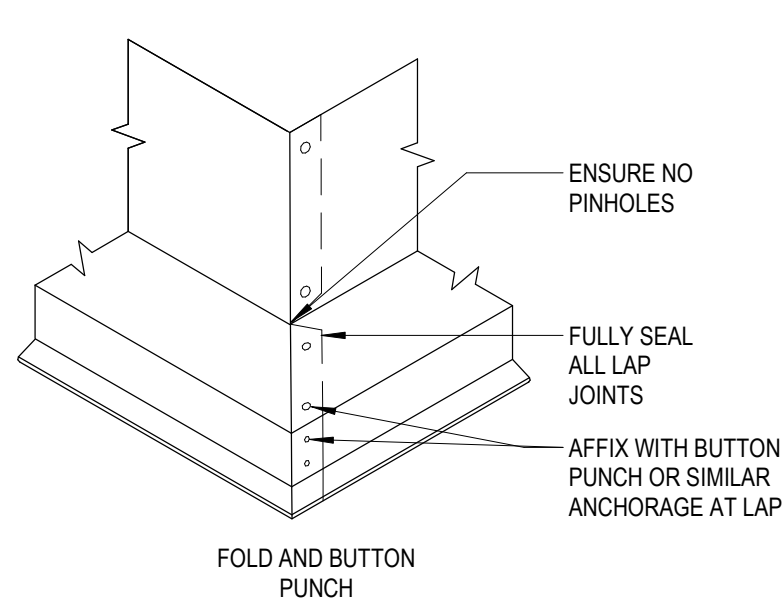


TYPICAL LINEAR FLASHING
SPlice AT COPING

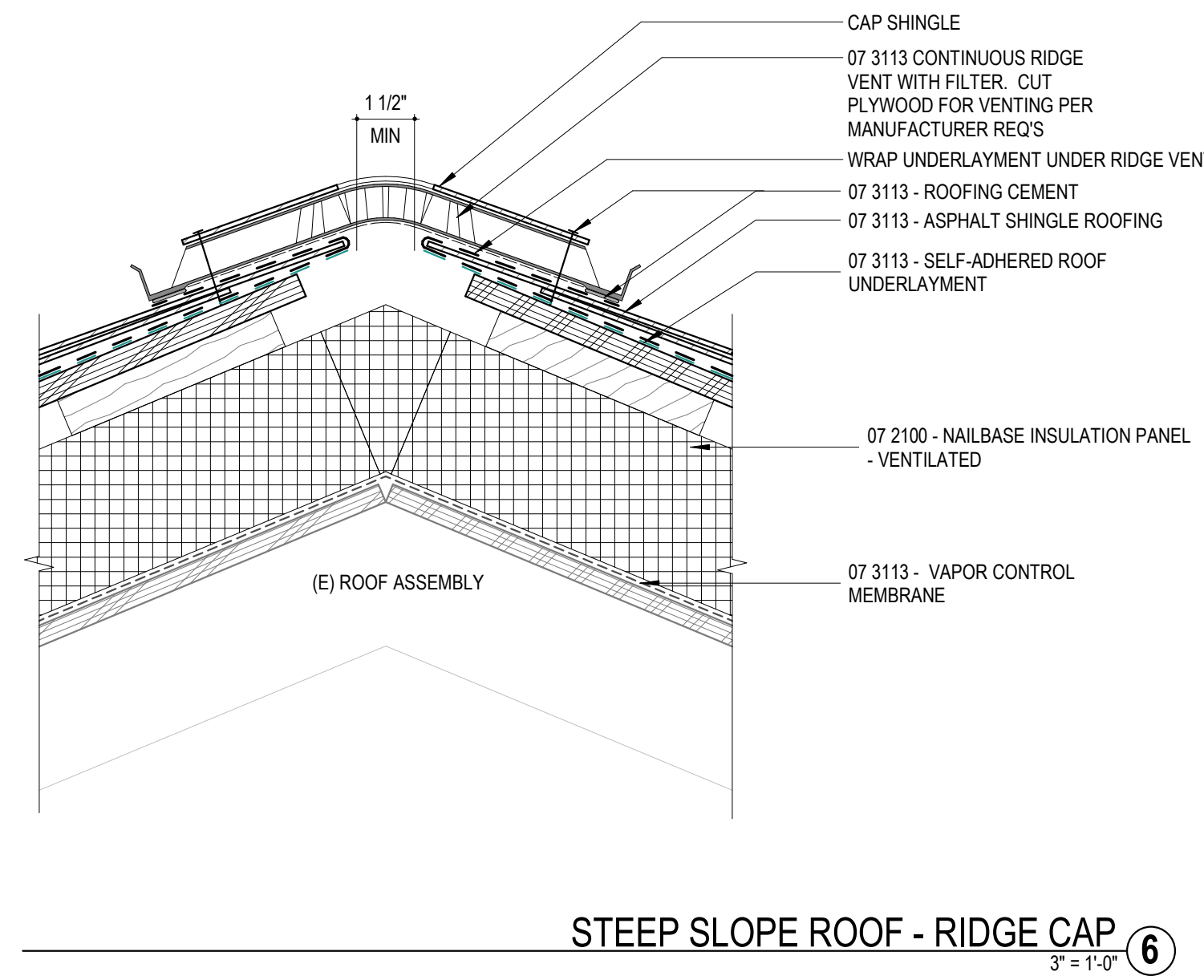
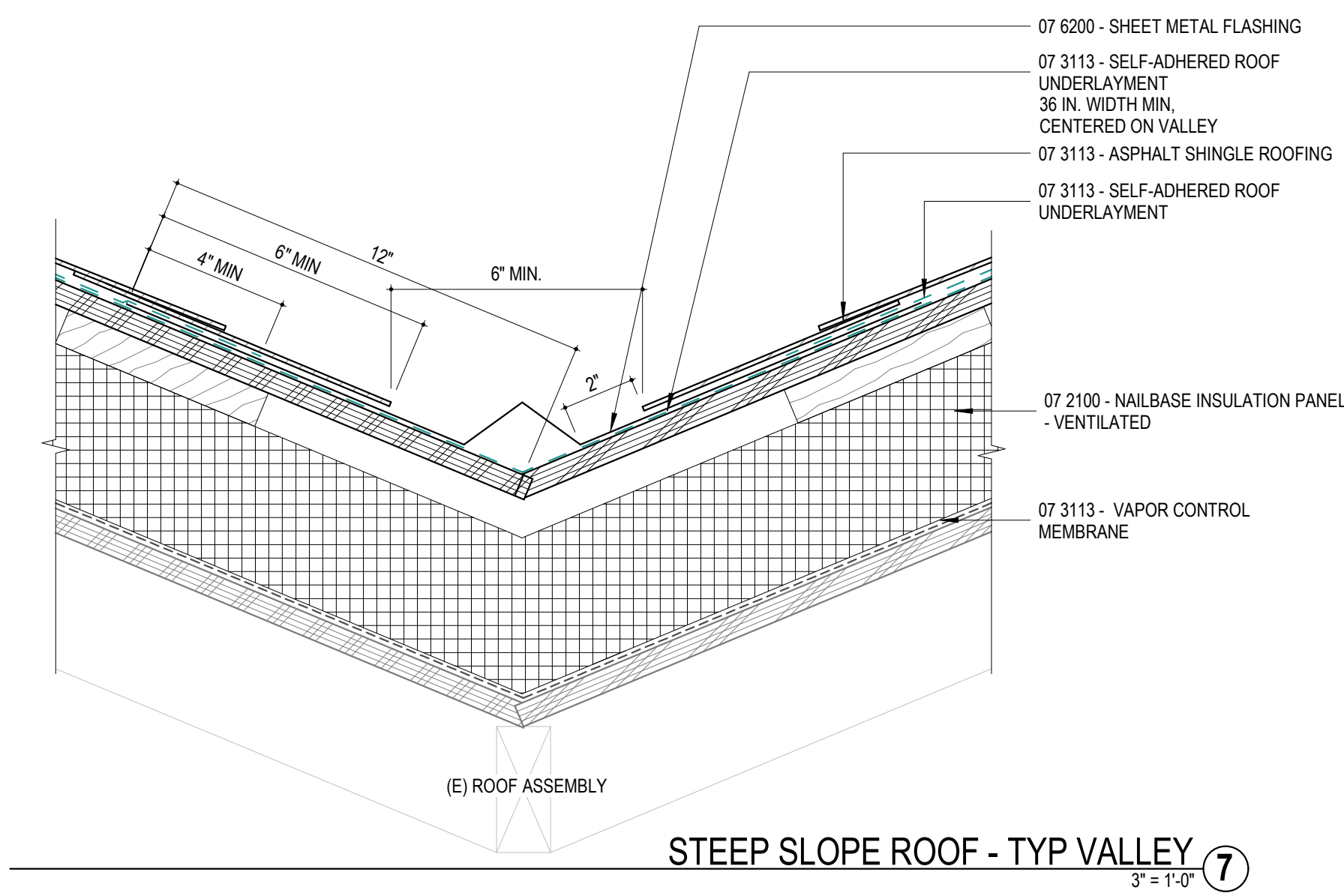


COPING FLASHING AND LINEAR FLASHING
LAP JOINT
3" = 1'-0"

NOTES:
THIS DETAIL IS CONCEPTUAL AND DESCRIBES DESIGN INTENT. IT DOES NOT PURPORT TO SHOW ALL CONDITIONS. ALL FLASHING JOINTS AND TERMINATIONS TO BE PERMANENTLY WATERTIGHT.



TYPICAL FLASHING JOINERY
3" = 1'-0"



NOTE(S):
1. PREPARE ROOF SUBSTRATES FOR TARGETED ROOF REPAIR AS DESCRIBED IN SCOPE OF WORK

